



Cotleur & Hearing

Landscape Architects
Land Planners
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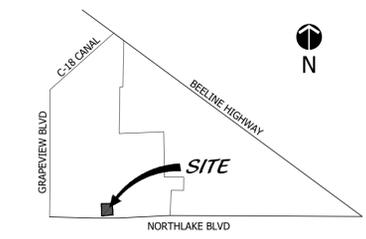
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The Health Park at Avenir

SINA Development Companies
Palm Beach Gardens, Florida

LOCATION MAP



GENERAL NOTES

REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INDIVIDUAL DUMPSTER AND RECYCLING AS SHOWN ON THE SITE PLAN.
RAMP SHALL BE PROVIDED AT ALL INTERSECTIONS WITH HANDICAP PARKING AND DRIVE ISLES IN ACCORDANCE WITH ADA AND THE FLORIDA HANDICAP ACCESSIBILITY CODE.
ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PALM BEACH GARDENS LDR'S OR WAIVERS SHALL BE SOUGHT FROM CITY COUNCIL.
TYPE D OR F RAISED CONCRETE CURBING SHALL BE USED WITHIN PLANTING ISLANDS AND WITHIN VEHICULAR USE AREAS.
ALL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH PER THE LDR'S
ALL BUILDING LIGHTING AT ENTRY AND DOORS SHALL BE ON PHOTOCELL.
THE BUILDING, LANDSCAPE AND LIGHTING DESIGN SHALL MAXIMIZE THE USE OF CPED DESIGN PRINCIPLES.
5' X 15' SAFE SIGHT TRIANGLE SHALL BE PROVIDED AT THE PROJECT ENTRY DRIVE.
THE PHOTOMETRIC PLAN WILL REFLECT LIGHTING VALUES IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF PALM BEACH GARDENS LDR'S.
ALL PARKING LOT STRIPING, EXCEPT FOR PARKING SPACES, SHALL BE CONSTRUCTED USING THERMOPLASTIC MATERIAL IN ACCORDANCE WITH LDR SECTION 78-344.
ALL PARKING AND STREET LIGHTS AND PEDESTRIAN LIGHTS SHALL BE METAL HALIDE.
PROJECT ID SIGNS SHALL BE ILLUMINATED WITH GROUND MOUNTED FIXTURES ON PHOTOCELLS.
ALL HANDICAP ACCESSIBLE RAMPS SHALL MEET ALL APPLICABLE REGIONAL AND STATE ACCESSIBILITY GUIDELINES AND REGULATIONS. ANY MODIFICATIONS SHALL BE APPROVED BY THE ENGINEER-OF-RECORD.
THE SITE SHALL COMPLY WITH LDR 78-376. THERE SHALL BE NO OUTDOOR STORAGE AREAS PERMITTED ON SITE.
ALL HANDICAP ACCESSIBLE RAMPS SHALL MEET ALL APPLICABLE LOCAL, REGIONAL AND STATE ACCESSIBILITY GUIDELINES AND REGULATIONS. ANY MODIFICATIONS SHALL BE APPROVED BY ENGINEER-OF-RECORD.
ALL PAVEMENT MARKING AND STRIPING EXCLUDING PARKING STRIPING, SHALL BE INSTALLED WITH THERMOPLASTIC MATERIALS. PAVED BRICKS OF APPROPRIATE COLOR SHALL BE USED ON PAVED BRICK AREA IN LIEU OF PAINT OR THERMOPLASTIC MATERIAL, FOR CONFORMANCE WITH SECTION 78-344 OF THE CITY'S LDR'S.
ROADWAY TRACTS SHALL BE DEDICATED TO THE AVENIR COMMUNITY DEVELOPMENT DISTRICT (CDD).

SITE DATA

PETITION NUMBER: SPLA-24-08-011
PROJECT NAME: THE HEALTH PARK AT AVENIR
LAND USE DESIGNATION: MXD
ZONING DESIGNATION: PCD/MXD
SECTION/TOWNSHIP/RANGE: 28/41/41
PCN: 52-41-41-28-01-001-0011

PHASE 1 PROJECT AREA: 9.99 AC
FUTURE DEVELOPMENT PARCEL: 3.11 AC
TOTAL PROJECT AREA: 13.09 AC

PROPOSED USE: HOSPITAL, MEDICAL OFFICE
TOTAL BUILDING SQ. FT.: 152,320

TOTAL FLOOR AREA RATIO (FAR): 0.35
BUILDING HEIGHT: MAX 65' / 4-STORY
PROPOSED: 55' / 3 STORY
LOT COVERAGE ALLOWED: MAX 70%
LOT COVERAGE PROVIDED: 13.01%

LAND USE COVERAGE	SQ. FT.	ACRES	PERCENT
IMPERVIOUS	74,231	1.70	13.01%
BUILDING LOT COVERAGE	46,627	1.07	8.17%
SIDEWALKS	252,263	5.79	44.19%
VEHICULAR USE AREAS	372,922	8.56	65.38%
SUB TOTAL			
PERVIOUS AREAS	53,604	1.23	9.40%
LAKE	20,495	0.47	3.59%
RETENTION	123,353	2.83	21.63%
GREENSPACE	197,451	4.53	34.62%
SUB TOTAL			

TOTALS: 570,373 13.09 100.00%
NOTE: CALCULATIONS OVER BY 2.5 SF (0.0004%) DUE TO CAD OPERATOR HUMAN ERROR.

OPEN SPACE: REQUIRED 15% MIN 42,79% PROVIDED 48,167

ADDITIONAL OPEN SPACE REQUIRED PER LDR 78-344 (327' X 12' = 3,924 SF)	1,944 SF	1,944 SF
ADDITIONAL OPEN SPACE REQUIRED PER LDR 78-344 (81' X 24' = 1,944 SF) <td>5,868 SF</td> <td>5,868 SF</td>	5,868 SF	5,868 SF
TOTAL ADDITIONAL OPEN SPACE		

PROPOSED DEVELOPMENT	BUILDING NO.	USE	BUILDING SF
1	HOSPITAL	53,370	
2	MEDICAL OFFICE	48,167	
3	MEDICAL OFFICE	24,603	
4	MEDICAL OFFICE	26,200	
TOTAL		152,320	

PARKING REQUIRED	553
PARKING PROVIDED	553
ADA PARKING PROVIDED	14
GOLF CART PARKING	7
COVERED PARKING (5% OF REQ. MAX.)*	27
LOADING SPACES REQUIRED	3
LOADING SPACES PROVIDED	3

PARKING DATA	PROPOSED SF	REQUIRED	PROVIDED
HOSPITAL	53,370	58	110
PATIENT BEDS (2 SPACES PER BED)	29	58	

MEDICAL OFFICE (1/200)	98,950	495	422
			131

TOTALS		553	553
ADA PARKING	2%	11	20
BICYCLE PARKING	5%	27.6	30
ELECTRIC VEHICLE PARKING	N/A	N/A	16
FUTURE ELECTRIC VEHICLE PARKING	N/A	N/A	18

NOTES:
LOADING AREAS 12' X 35' PLUS 12' X 35' MANEUVERING AREA
OUTDOOR SEATING IS EXCLUDED FROM FAR CALCULATION
INCLUDES PEDESTRIAN AND WALKS PER 78-681 (8) (4)
ADDITIONAL OPEN SPACE REDUCED PARKING 1.5 SF PER 1 SF REMOVED = 3,367 SF
* 21 COVERED PARKING SPACES ARE RESERVED FOR CLINICIANS ACTIVELY WORKING WITHIN THE HOSPITAL AND MEDICAL OFFICE BUILDINGS

FINAL APPROVAL
City of Palm Beach Gardens
Project Name: Health Park at Avenir - MOB 4
Petition #: SPLA-24-08-0011
Development Order: Resolution 9, 2025
Date: 10/9/2025
Project Manager: Brett A. Leone, Principal Planner

LEGAL DESCRIPTION

A PORTION OF PARCEL "A-1", AVENIR, AS RECORDED IN PLAT BOOK 127, PAGES 85 THROUGH 109 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE MOST EASTERLY SOUTHWEST CORNER OF PARCEL A-1, AVENIR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 127, PAGES 85 THROUGH 109, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE ALONG THE WEST LINE OF SAID PARCEL A-1, NORTH 01° 06' 43" EAST FOR A DISTANCE OF 100.27 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG THE SAID WEST LINE, NORTH 01° 06' 43" EAST FOR A DISTANCE OF 802.27 FEET; THENCE DEPARTING SAID WEST LINE, SOUTH 88° 53' 17" EAST FOR A DISTANCE OF 711.58 FEET; THENCE, SOUTH 03° 05' 58" EAST FOR A DISTANCE OF 474.15 FEET; THENCE, SOUTH 03° 10' 40" WEST FOR A DISTANCE OF 100.60 FEET; THENCE, SOUTH 03° 05' 58" EAST FOR A DISTANCE OF 173.71 FEET; THENCE, SOUTH 86° 54' 02" WEST FOR A DISTANCE OF 757.57 FEET TO THE POINT OF BEGINNING.

CONTAINING 13.094 ACRES MORE OR LESS.
SUBJECT TO EASEMENTS, RESERVATIONS, AND/OR RIGHTS-OF-WAY OF RECORD.

PROPOSED WAIVER CHART

Waiver #	Code Section	Code Requirement	Waiver Request
#8	Section 78-285, Permitted Signs	Building Directional Signs are permitted to be a maximum 4 SF.	Request for a 10x96 SF directional sign to the east of building #1, within the roundabout.

APPROVED WAIVER CHART

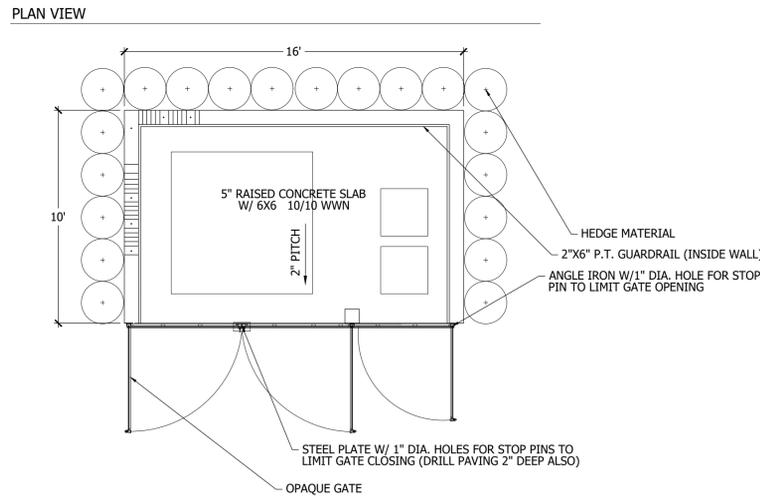
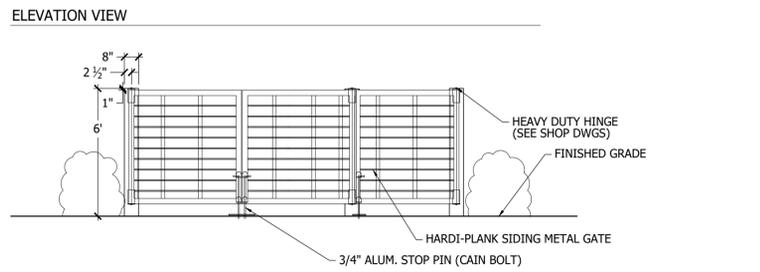
Waiver #	Code Section	Code Requirement	Waiver Request
#1	Section 78-285, Permitted Signs	One flat/wall sign for principal structure or building identification or principal tenant permitted.	Request for proposed Building #2 to have 3 total Building ID/Principal Tenant wall signs.
#2	Avenir Development Standards (Workplace District)	0-30' Front Build-to-zone	Request for proposed Building #1 to be setback 107' from the front property line. (77.7' after completion of expansion)
#3	Section 78-285, Permitted Signs	One flat/wall sign for principal structure or building identification or principal tenant permitted.	Request for proposed Building #3 to have 2 total Building ID/Principal Tenant wall signs.
#4	Avenir Development Standards (Workplace District)	50% of a front or side of a building facade must be within the build-to-zone	Request for proposed Building #1 to have 0% within the build-to-zone.
#5	Section 78-285, Permitted Signs	One flat/wall sign for principal structure or building identification or principal tenant permitted.	Request for proposed Building #1 to have 3 total Building ID/ Principal Tenant wall signs.
#6	Section 78-315, Landscaping and landscape islands shall be provided for every nine vehicular parking spaces located in a row.	Requesting no more than 10 parking spaces in a row in 4 locations.	
#7	Section 78-285, Permitted Signs	Building Directional Signs are permitted to be a maximum 4 SF.	Request for proposed 6.85 SF Building Directional Signs to accommodate 6' tall letters.

Site Plan
Scale: 1" = 50'-0"
North

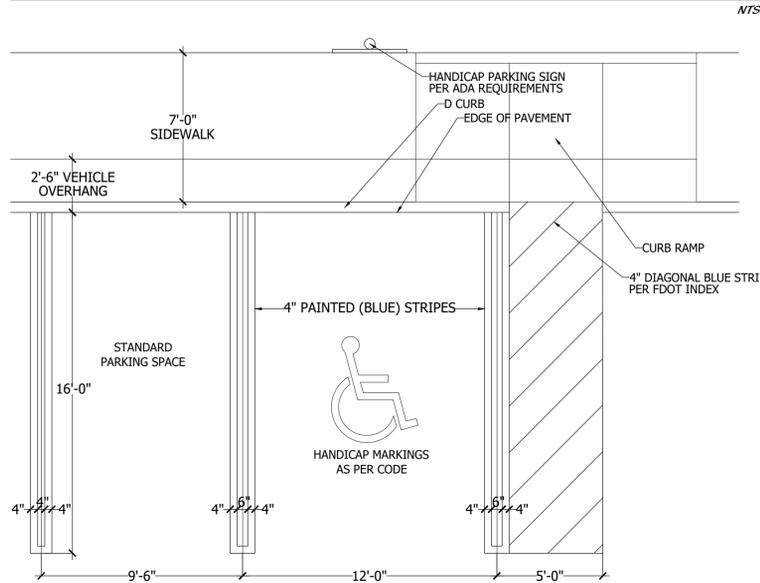
January 14, 2025 3:10:03 p.m.
Drawing: 21-0701 SP.DWG

SHEET 1 OF 3
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These drawings are the property of the architect and are not to be used for extensions or other projects except by agreement in writing with the architect. Immediately report any discrepancies to the architect.

DUMPSTER DETAIL



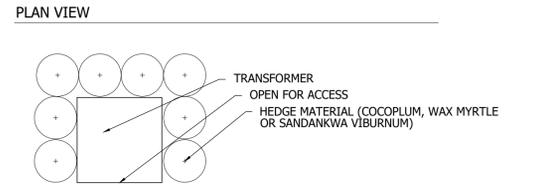
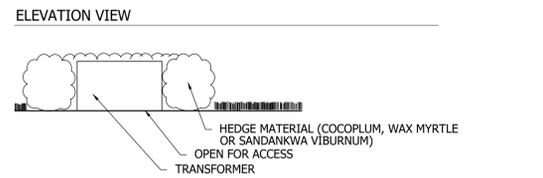
STANDARD AND HANDICAP PARKING DETAIL



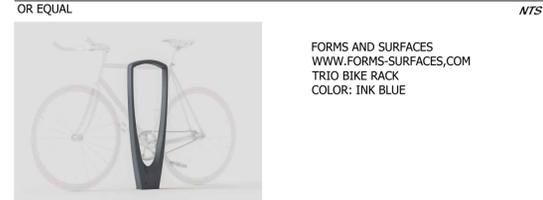
HANDICAP SYMBOL DETAIL



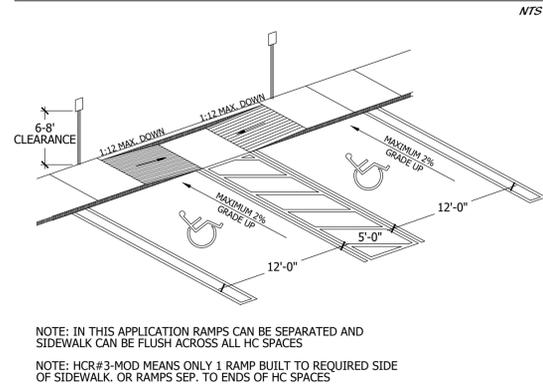
TRANSFORMER DETAIL



BIKE RACK DETAIL



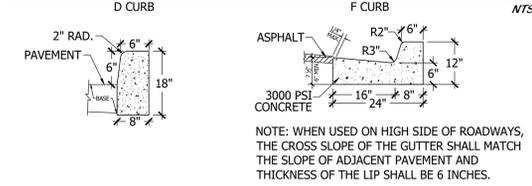
HANDICAP RAMP DETAIL



HANDICAP SIGN DETAIL



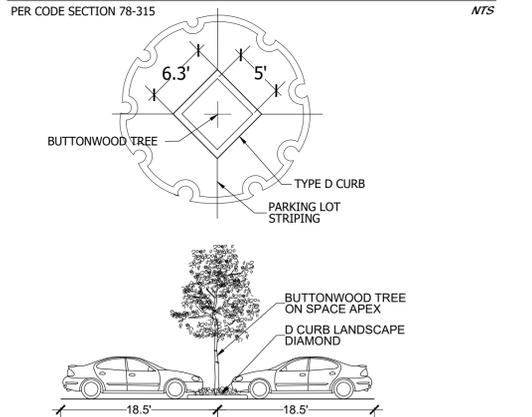
CURB DETAILS



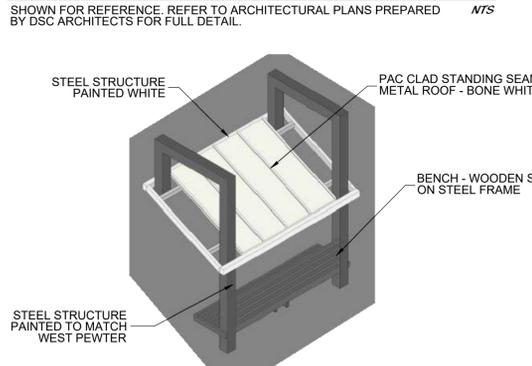
EV CHARGER AND SIGN DETAILS



LANDSCAPE DIAMOND DETAIL



SHADE STRUCTURE BENCH DETAIL



FIRST RESPONDER SIGN DETAIL

NTS

18" 12" PARKING FOR FIRST RESPONDERS ONLY THANK YOU!

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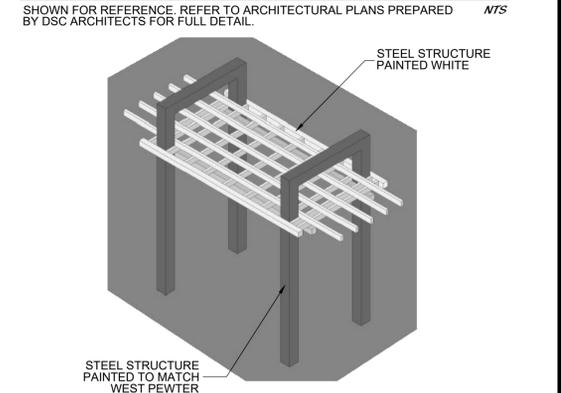
TRASH CAN DETAIL



BENCH DETAIL



ARCHITECTURAL ELEMENT DETAIL



Site Details



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Palm Beach Gardens, Florida

DESIGNED	DEH
DRAWN	RO
APPROVED	DEH
JOB NUMBER	21-0701
DATE	09-21-22
REVISIONS	10-21-22
08-29-23	01-17-23
09-26-23	03-03-23
07-18-24	03-14-23
11-06-24	06-20-23
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PAVER DETAILS

OR EQUAL NTS



DARK BROWN TAN TAUPE SAND DUNE DARK BROWN

CROSSWALKS
 TREMRON PLANK PAVERS
 4"x12" X 100MM
 COLORS: TAN, TAUPE, DARK BROWN
 STAGGERED RUNNING BOND IN DIRECTION OF CROSSWALK,
 NO BORDER, 8" HEADER CURB ON EACH SIDE

VEHICULAR ENTRY, ROUNDABOUT
 TREMRON STONEHURST 80MM PAVES
 6"x9" 9"x9" 9"x12"
 COLORS: SAND DUNE, STANDARD FINISH
 HERRINGBONE PATTERN
 SOLDIER COURSE BORDER
 4"x8" 80MM
 COLOR: DARK BROWN

HOSPITAL VEHICULAR DROP OFF
 TREMRON 4"x8" 80MM PAVES
 COLORS: SAND DUNE, STANDARD FINISH
 HERRINGBONE PATTERN
 SOLDIER COURSE BORDER
 4"x8" 80MM
 COLOR: DARK BROWN

STRIPING AND STOP BARS
 TREMRON 4"x8" 80MM PAVES
 COLORS: WHITE



PEDESTRIAN PLAZA
 TREMRON PLANK PAVERS
 PLANK COMBO (4"x12", 4"x16" X 60MM)
 COLORS: TAN, TAUPE, DARK BROWN
 STAGGERED RUNNING BOND, NO BORDER

BENCH DETAIL

NTS



PEDESTRIAN PLAZA WITHIN BUFFER
 WAUSAUTILE.COM
 KNIFE CONCRETE BENCH
 ACID WASH
 COLOR: A23 GRAY

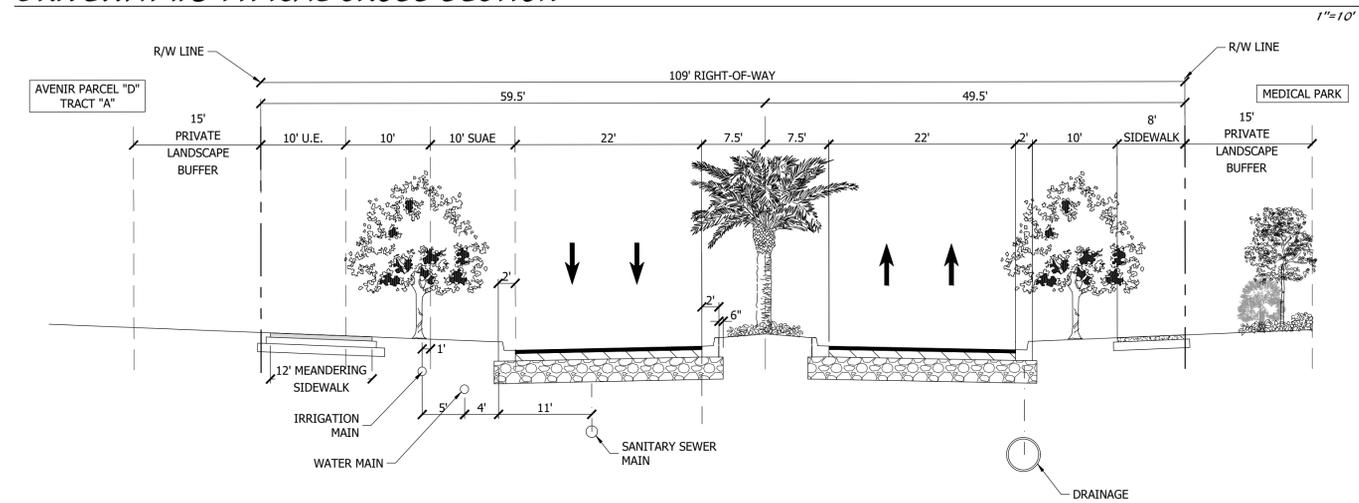
TABLE AND CHAIR DETAIL

NTS

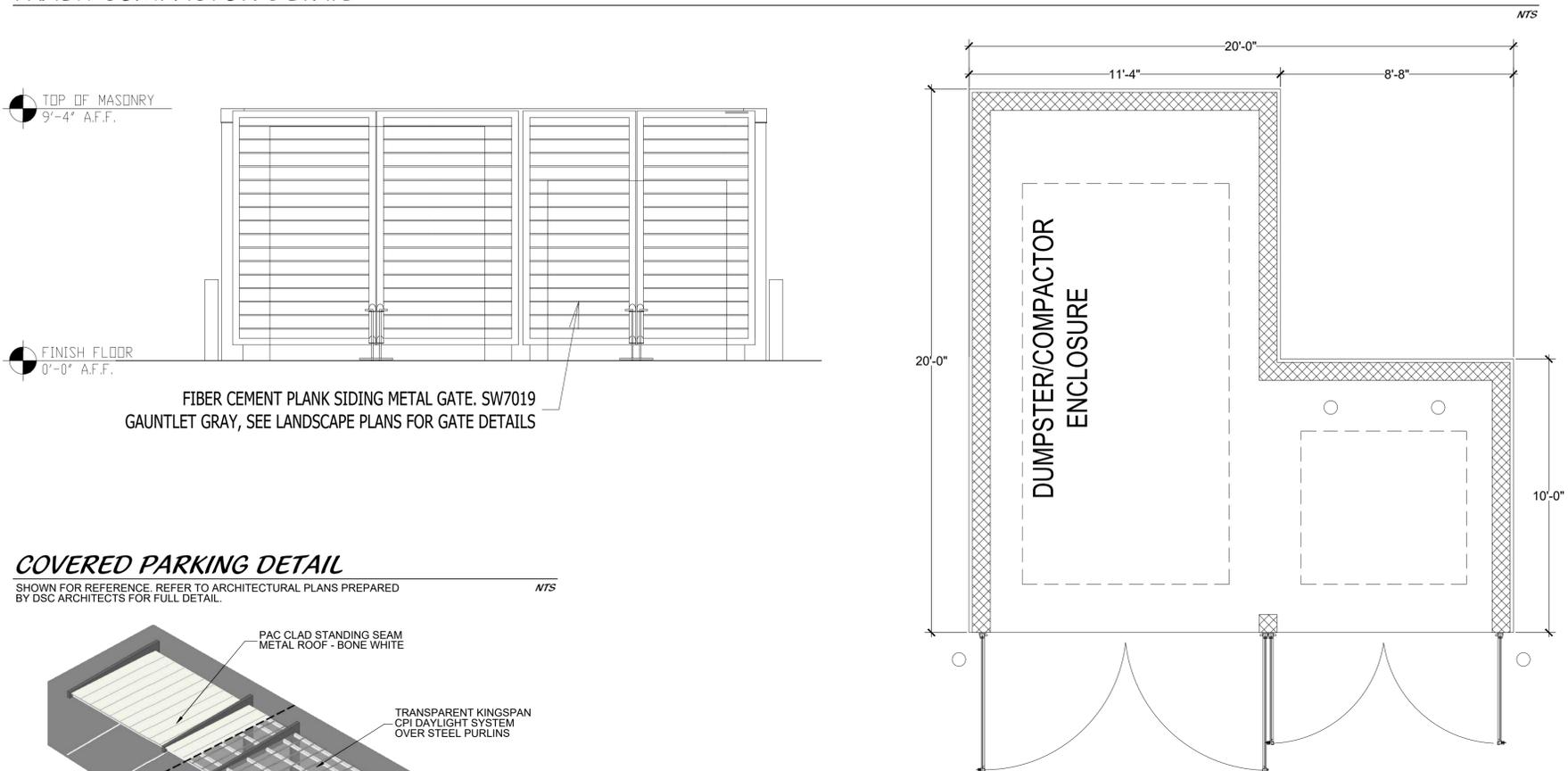


MOB 3 PEDESTRIAN PLAZA
 LANDSCAPE FORMS
 BRAVO BISTRO
 POWDER COATED METAL
 COLOR: CARBON

DRIVEWAY #3 TYPICAL CROSS SECTION

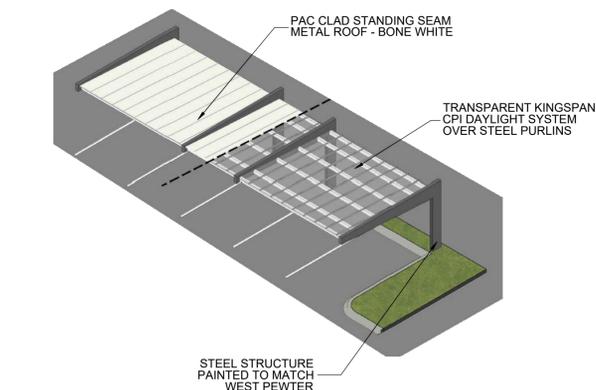


TRASH COMPACTOR DETAIL



COVERED PARKING DETAIL

SHOWN FOR REFERENCE. REFER TO ARCHITECTURAL PLANS PREPARED BY DSC ARCHITECTS FOR FULL DETAIL. NTS



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