

# SITE DATA

Application Name	The Plumeria Place	
Site Location	9598 ALT. A1A, Palm Beach Gardens, FL	
Project Number	PPUD-24-08-0004	
PCN	52-43-42-18-00-000-1180	
Existing/Proposed Land Use Designation	Commercial (C)	
Existing/Proposed Zoning District Overlay(s)	General Commercial (CG-1) PUD	
Existing Uses	Vacant	
Proposed Uses	Medical Office	
Gross Site Area	SF 51,256	AC 1.1767
Proposed Building Area	5,575 SF	
Office, Medical or Dental	5,575 SF	
Total Building Area	5,575 SF	
<b>DEVELOPMENT STANDARDS (CG-1 in PUD)</b>		
	REQ.	PROVIDED
Min Lot Size	1 AC	1.1767 AC
Min Bldg. Site Area	N/A SF	5,575 SF
Min Lot Width	100 FT	180.17 FT
Max. Lot Coverage	35 %	10.88 %
Max. Bldg. Height (1 Story)	36 FT	21'-2" FT
Front Setback (South - Alt. A1A)	50 FT	57.77 FT
Front Setback (Lighthouse Drive)	50 FT	296.61 FT
Rear Setback	15 FT	31.18 FT
Side Setback (West)	40 FT	79.49 FT
Side Setback (East)	15 FT	15.12 FT
Side Setback (South)	15 FT	28.11 FT
<b>OPEN SPACE REQUIREMENTS</b>		
	REQ.	PROVIDED
Required Open Space (Min. 15%)	7688.4 FT	24,815 FT 48.42%
Building Lot Coverage (Max. 35%)	17,939.6 FT	5575 FT 10.88%
Vehicular Use Area	15,947 FT	5575 FT 31.11%
Sidewalks/Plazas/Misc.	4919 FT	9.59%
Total Site Area	51,256 FT	100.00%
<b>PARKING</b>		
	REQ.	PROVIDED
Office, Medical or Dental (1PS/200 SF) - 5,575SF	28 PS	31 PS
Total Required PS	28 PS	**31 PS
**TWO ADA PARKING SPACES INCLUDED IN TOTAL & 2 COMPACT SPACES INCLUDED IN TOTAL		
<b>BIKE RACKS</b>		
5% OF 28 REQUIRED PARKING SPACES	2	2
LOADING	1 Space	1 Space
Traffic Analysis Zone (TAZ)	92	

# LEGEND

LB	LANDSCAPE BUFFER
MAX.	MAXIMUM
OVLP	OVERLAP
SFSB	SPECIAL FRONT SETBACK
FSB	FRONT SETBACK
SSB	SIDE SETBACK
RSB	REAR SETBACK
R	RADIUS
TYP.	TYPICAL
ESMT	EASEMENT
SUA	SEACOAST UTILITY AUTHORITY
CONC	CONCRETE
OVH	OVERHANG

# PROJECT TEAM

Owner:	Planner:	Landscape Architect:	Architect:	Civil & Traffic Engineer:	Surveyor:
VO & PHUNG MANAGEMENT LLC	iPlan & Design, LLC	Native Bloom, Inc.	LCA Architecture, Inc.	Kimley-Horn & Associates, Inc.	Caulfield & Wheeler, Inc
6879 Cobia Circle	823 N. Olive Avenue	453 11th SQ SW	1975 Sansbury's Way, Suite 108	477 S. Rosemary Ave., Suite 215	7900 Glades Road, Suite 100
Boynton Beach, FL 33437	West Palm Beach, FL 33401	Vero Beach, FL 32962	West Palm Beach, FL 33411	West Palm Beach, FL 33401	Boca Raton, FL 33434
Tel: N/A	Tel: 561 797 4217	Tel: 561 596 9881	Tel: 561 493 4787	Tel: 561 845 0665	Tel: 561 392 1991
Email: dannyvo30@gmail.com	Email: brian@iplananddesign.com	Email: kbloom@nativebloominc.com	Email: les@lca-inc.com	Email: Adam.Kerr@kimley-horn.com	Email: dave@cwiasoc.com

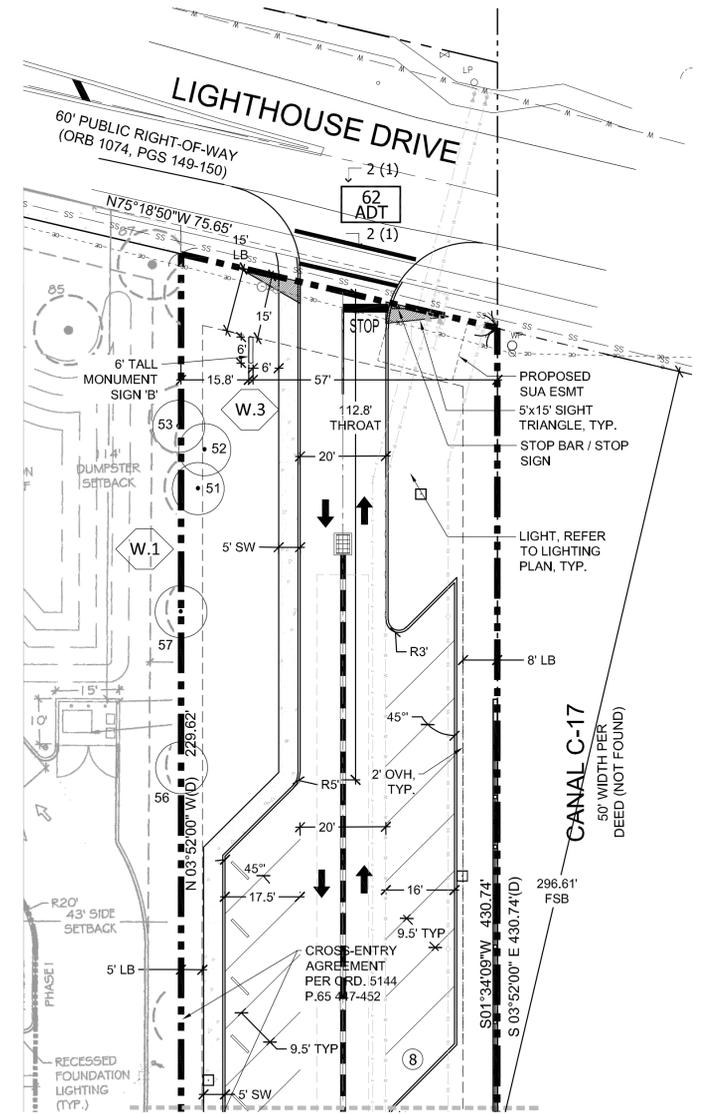
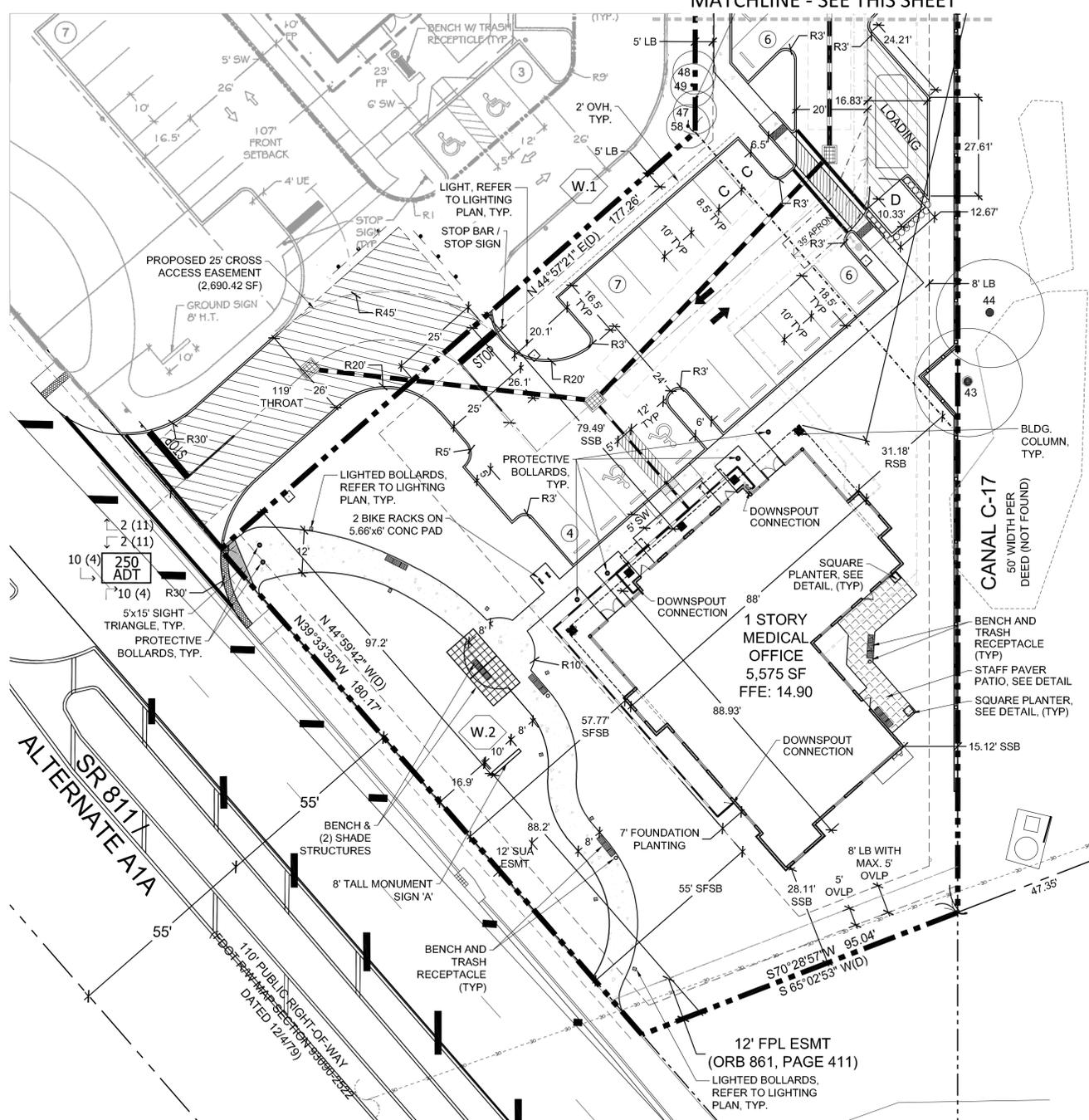
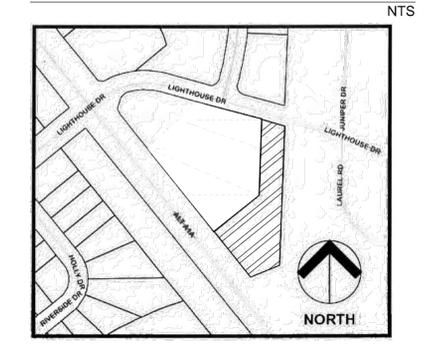
# WAIVER CHART

WAIVER NO.	TYPE	LDR CODE	REQUIRED/REQUIRED	PROVIDED	WAIVER	WAIVER GRANTED
W.1	MINIMUM LANDSCAPE BUFFER	78-319(A)	8 FOOT WIDE LS BUFFER	5 FOOT WIDE (WEST PROPERTY LINE +/- 230 FEET) LS BUFFER ADJACENT TO COMMERCIAL	LS BUFFER REDUCTION OF +/- 3 ft.	PENDING
W.2	GROUND SIGN (ALTERNATE A1A)	78-285	1 FOR FIRST 300 LINEAL FEET OF ROW	238.26 FEET OF TOTAL FRONTAGE	61.74 FEET	PENDING
	GROUND SIGN (LIGHTHOUSE DRIVE)		1 FOR EACH ADDITIONAL 700 LINEAL FEET OF ROW	238.26 FEET OF TOTAL FRONTAGE	761.74 FEET	PENDING
W.3	GROUND SIGN (LIGHTHOUSE DRIVE)	78-285	MINIMUM OF 50 FOOT SETBACK FROM NON R/W PROPERTY LINE	20.2 FEET FROM NON R/W LINE	29.8 FEET	PENDING

# PROPERTY DEVELOPMENT REGULATIONS

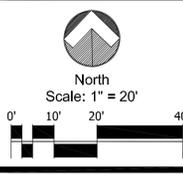
ZONING	LOT DIMENSIONS	BLDG. HT.	MAX. LOT COVER	MIN. SETBACKS					
(PUD) CG-1	SIZE	WIDTH		SR A1A FRONT	LIGHTHOUSE FRONT	SIDE	SIDE	SIDE	REAR
REQUIRED	1 AC.	100'	36'	50'	50'	15'	15'	15'	15'
PROPOSED	1.1767 AC.	180'	18'	10.88%	57.77'	296.61'	79.49'	28.11'	15.12'

# LOCATION MAP



**THE PLUMERIA PLACE - 9598 ALT. A1A.**  
**SITE PLAN**  
**PALM BEACH GARDENS, FLORIDA**

DESIGNED	B.C.
DRAWN	L.R.
APPROVED	
JOB NUMBER	
DATE	
REVISIONS	2024-01-08
	2024-03-07
	2024-05-29
	2024-04-01
	2024-06-05
	2024-04-10
	2025-02-04
	2024-04-26
	2025-07-31
	2025-11-18

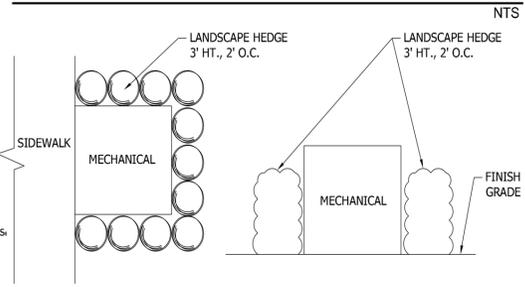


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	2024-05-24
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	2025-07-09, 2025-07-31,
	2025-11-06

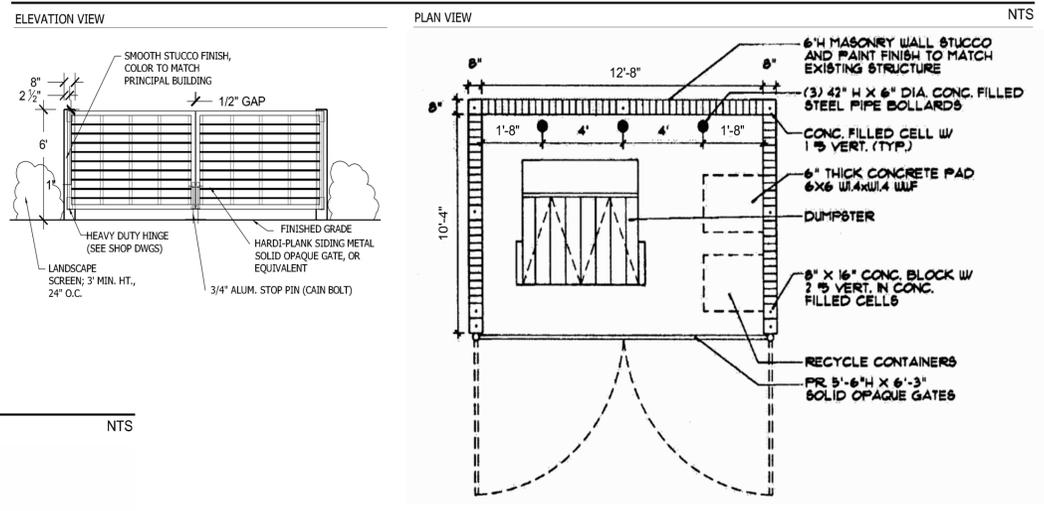
**TRASH RECEPTACLE**



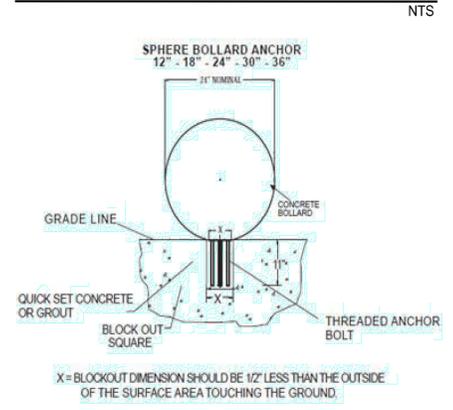
**TYPICAL MECHANICAL SCREENING DETAIL**



**DUMPSTER DETAIL**



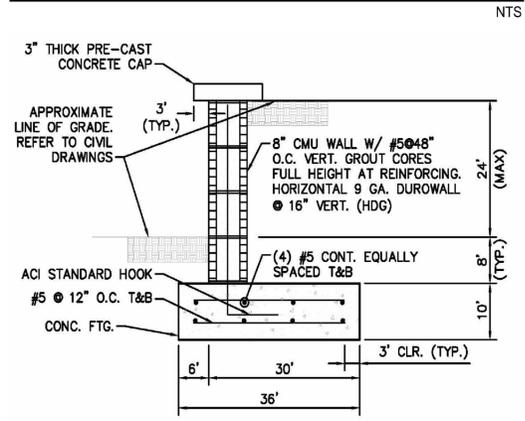
**CONCRETE BALL BOLLARD DETAIL**



**BIKE RACK DETAIL**

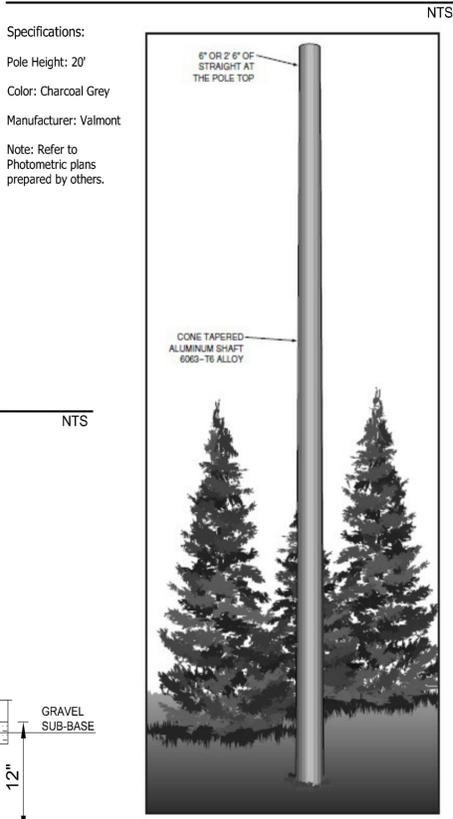


**RETAINING WALL DETAIL**

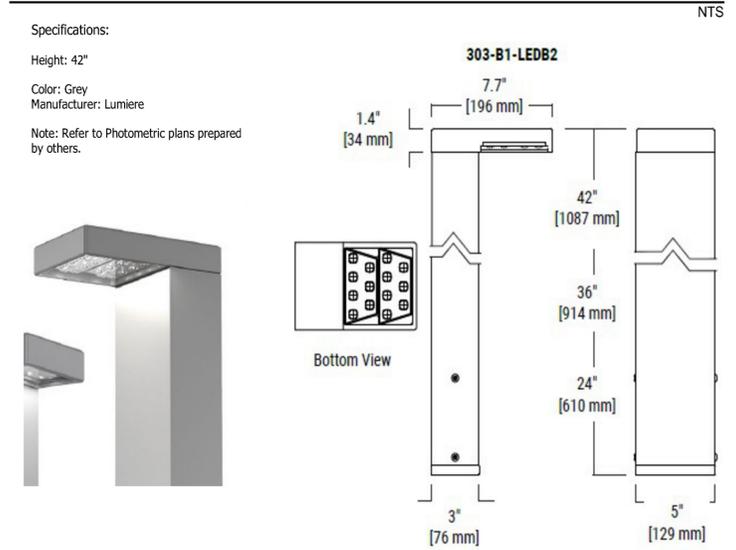


NOTE: RETAINING WALL DETAIL SHOWN ABOVE WAS PROVIDED BY KIMLEY-HORN AND ASSOCIATES, INC. REFER TO THEIR PLANS FOR CURRENT INFORMATION AND RELEVANT DETAILS.

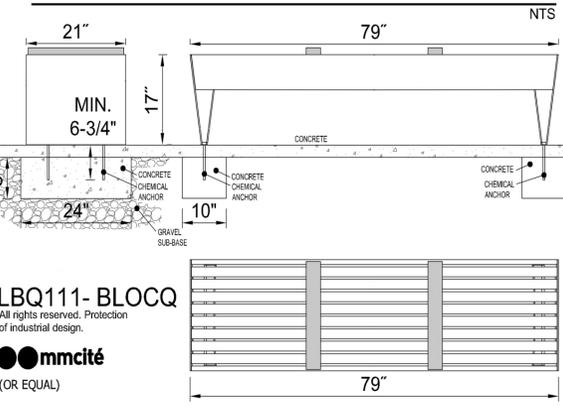
**LIGHT POLE DETAILS**



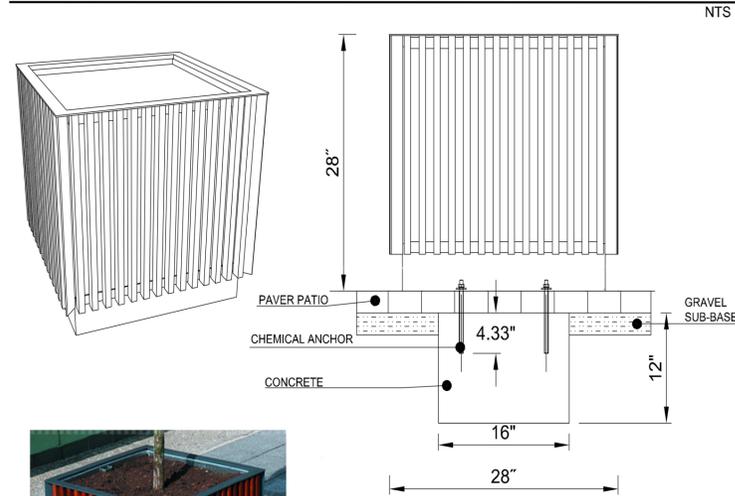
**LIGHTED BOLLARD DETAIL**



**BENCH WITH SECURITY DEVICE**



**SQUARE PLANTER DETAIL**



NOTES:  
 1. PLANTER CONTAINS DRAIN HOLES.  
 2. ANCHORED INTO CONCRETE FOUNDATION.

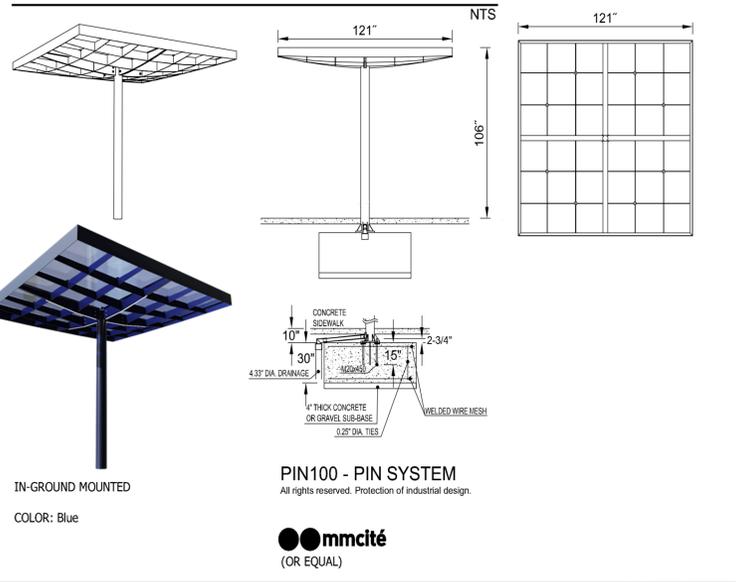
WOOD: Resysta with Varnish  
 COLOR: Light Grey

**mmcité FL650 - FLORIUM**  
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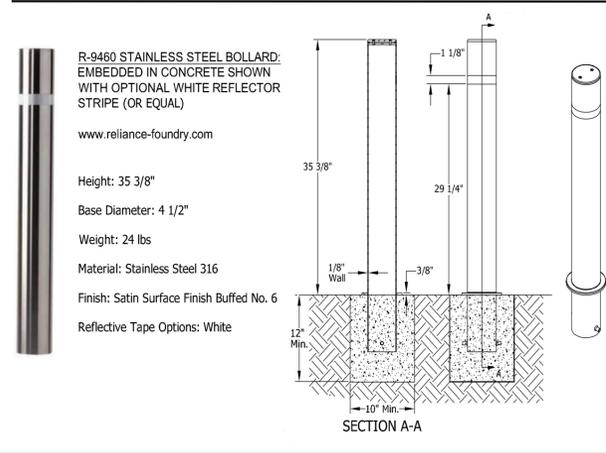
**LIGHT FIXTURE DETAIL**

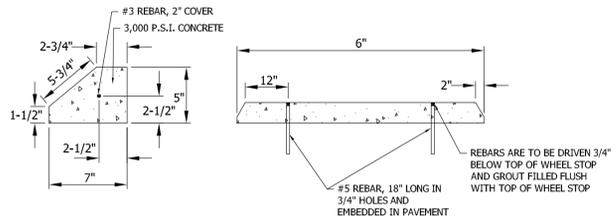


**SHADE STRUCTURE DETAIL**



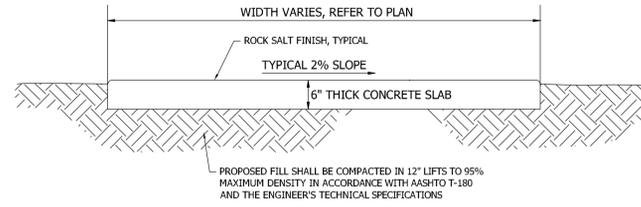
**PROTECTIVE BOLLARD DETAIL**





CONCRETE WHEEL STOP DETAIL

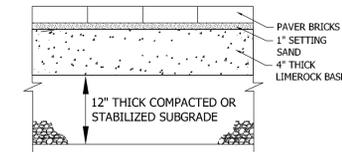
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- SIDEWALK NOTES:
1. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS.
  2. CONTRACTION JOINTS SHALL BE SAW CUT TO A 1-1/2" DEPTH AT INTERVALS EQUAL TO THE WIDTH OF THE SIDEWALK.
  3. EXPANSION JOINTS WILL BE PLACED AT THE END OF ALL RETURNS, AT FIXED OBJECTS (DRIVEWAYS, CURBS, ETC.) AND INTERVALS NOT TO EXCEED 50'. EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1/2" PREFORMED JOINT FILLER.
  4. ALL SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).

TYPICAL SIDEWALK DETAIL

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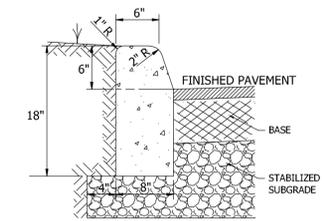
- NOTES:
1. SAND BEDDING SHALL BE WELL GRADED, CLEAN WASHED LIMESTONE SCREENINGS W/ 100% PASSING A 3/8" SIEVE AND A MAXIMUM 3% PASSING.



PAVER BRICK TYPE: BELGARD OCEANSIDE

PAVER BRICK DETAIL

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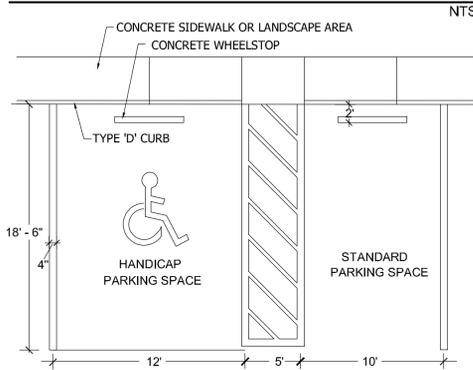


- NOTES:
1. CLASS 1 CONCRETE, 3,000 P.S.I. AT 28 DAYS
  2. CURB SHALL MEET THE SPECIFICATIONS ESTABLISHED BY FDOT STANDARD SPECIFICATIONS PER FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX NO. 300, LATEST EDITION.

FDOT TYPE 'D' CURB DETAIL

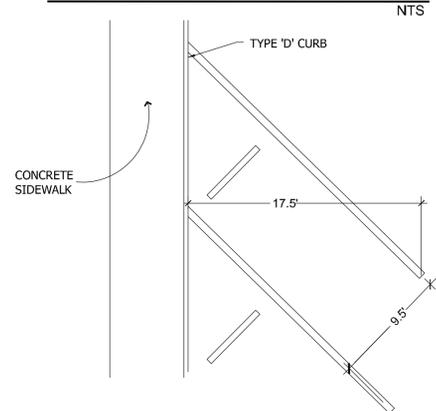
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ADA + STANDARD PARKING DETAIL



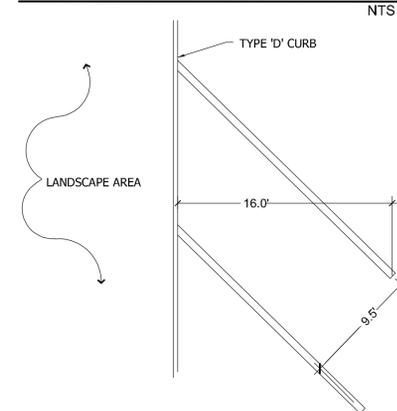
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45° ANGLE PARKING DETAIL WITH WHEELSTOP



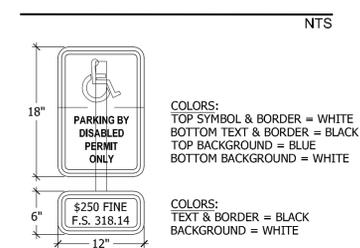
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45° ANGLE PARKING DETAIL



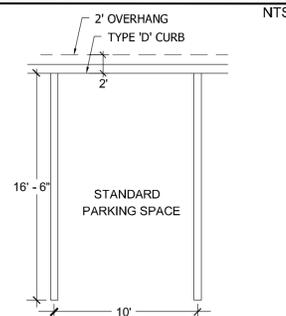
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ADA SIGN DETAIL



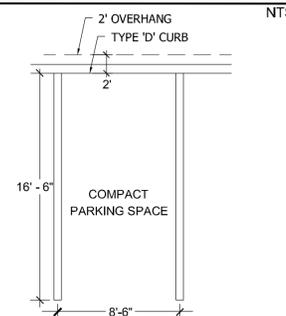
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STANDARD PARKING DETAIL WITH OVERHANG



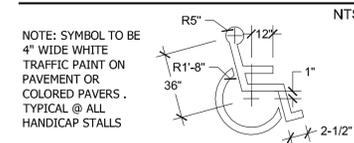
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COMPACT PARKING DETAIL WITH OVERHANG



NTS

ADA SYMBOL DETAIL



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