

LEGEND

- O.S. OPEN SPACE TRACT
- L.M.T. LAKE MAINTENANCE TRACT
- D.A.T. DRAINAGE & ACCESS TRACT
- U.E. UTILITY EASEMENT
- S.U.A. SEACOAST UTILITY AUTHORITY
- STREET LIGHT
- FIRE HYDRANT
- ENHANCED ARCHITECTURE (SIDE)
- ENHANCED ARCHITECTURE (REAR)
- BIKE RACK
- BENCH
- TRASH RECEPTACLE
- DOG WASTE STATION
- 77' x 140' LOT
- 77' x 130' LOT
- SALES MODEL
- 4' HIGH DECORATIVE ALUMINUM FENCE
- DECORATIVE PAVERS
- STOP SIGN

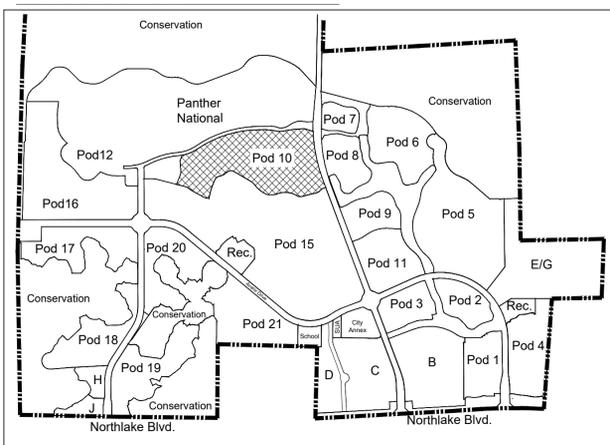
NOTES

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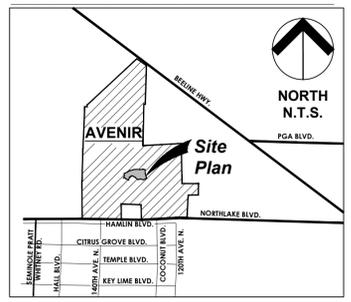
PROPERTY DEVELOPMENT REGULATIONS

77' WIDE LOTS	PROVIDED
LOT COVERAGE	MAX. 55.00%
BUILDING HEIGHT	STORIES/36'
LOT WIDTH	MIN. 77'
SETBACKS	PROVIDED
FRONT (SIDE LOADED GARAGES)	15'
WITH FRONT LOADED GARAGES	20'
SIDE	7.5'
SIDE STREET (CORNER LOT)	15'
REAR	10'
POOL / SCREEN ENCLOSURE	
SIDE	5'
SIDE STREET (CORNER LOT)	10'
REAR	5'
PATIOS	
SIDE	2'
SIDE STREET (CORNER LOT)	2'
REAR	2'
FENCES	
FRONT (FRONT & SIDE LOADED)	20'
SIDE	0'
SIDE STREET (CORNER LOT)	10'
REAR	0'
*AT NO TIME SHALL FENCES ENCR OACH ANY EASEMENTS	
GENERATORS	
FRONT	20'
SIDE	3'
SIDE STREET (CORNER LOT)	10'
REAR	3'

POD KEY MAP

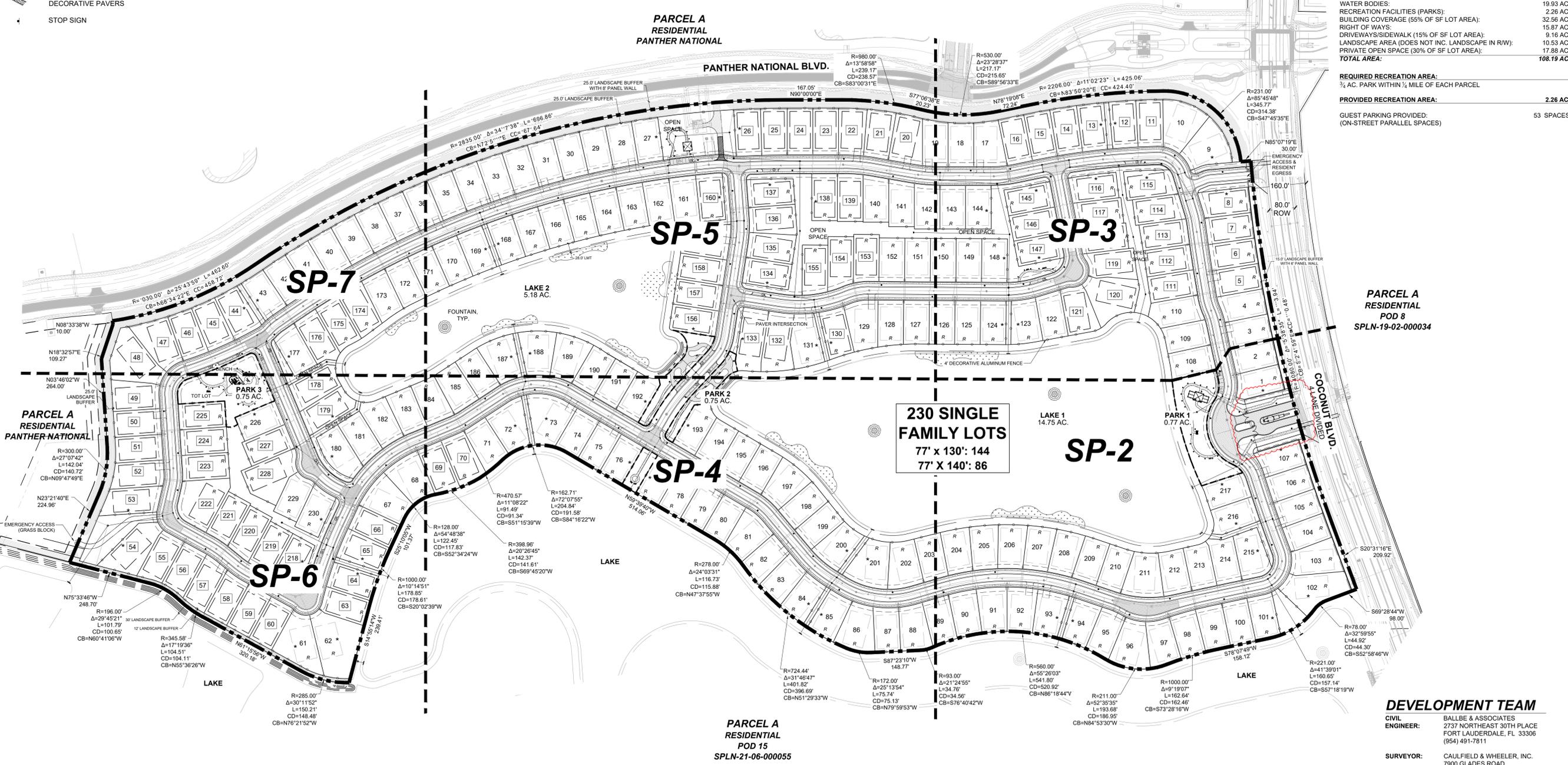


LOCATION MAP



SITE DATA

PETITION NUMBER:	SPLA-24-04-0008
PROJECT NAME:	AVENIR POD 10
PROPERTY CONTROL NUMBERS:	52-41-41-28-01-001-0011 2841411
SECTION / TOWNSHIP / RANGE:	2841411
GROSS ACREAGE:	108.191 ACRES
LAND USE DESIGNATION:	MIXED USE (MXD)
ZONING:	MXD PCD
LAND USE OVERLAY:	WESTERN NORTHLAKE BLVD. CORRIDOR PLANNING AREA
RESIDENTIAL HOUSING TYPE:	SINGLE FAMILY
RESIDENTIAL HOUSING CLASSIFICATION:	DETACHED
TOTAL DWELLING UNITS:	230 D.U.
LOT SIZE:	NUMBER OF UNITS:
77' x 140'	144 D.U.
77' x 130'	86 D.U.
NET DENSITY (230 D.U. / 108.191 AC.):	2.13 D.U./AC.
BUILDING HEIGHT:	MAX. 3 STORIES / MAX. 36'
OPEN SPACE REQUIRED	ACREAGE %
(35% OF 108.191 AC)	37.86 AC. MIN. 35%
OPEN SPACE PROVIDED	ACREAGE %
LANDSCAPE / SOD AREAS / L.M.T.*	10.5331 AC. / 458,823.9212 S.F. 9.74%
PRIVATE OPEN SPACE	17.8776 AC. / 778,746.7981 S.F. 16.52%
WATER BODIES SURFACE AREA	20.8803 AC. / 873,824.9169 S.F. 18.5%
RECREATION FACILITIES (PARKS) @ 50%	1.1318 AC. / 49,300.6839 S.F. 1.05%
	49.4750 AC / 2,155,130.3023 S.F. 45.7%
L.M.T. is planted with sod and does not include a sidewalk; the corresponding acreage is included in the landscape/sod areas.	
WATER BODIES:	19.93 AC.
RECREATION FACILITIES (PARKS):	2.26 AC.
BUILDING COVERAGE (55% OF SF LOT AREA):	32.56 AC.
RIGHT OF WAYS:	15.87 AC.
DRIVEWAYS/SIDEWALK (15% OF SF LOT AREA):	9.16 AC.
LANDSCAPE AREA (DOES NOT INC. LANDSCAPE IN RW):	10.53 AC.
PRIVATE OPEN SPACE (30% OF SF LOT AREA):	17.88 AC.
TOTAL AREA:	108.19 AC.
REQUIRED RECREATION AREA:	
1/4 AC. PARK WITHIN 1/4 MILE OF EACH PARCEL	
PROVIDED RECREATION AREA:	2.26 AC.
GUEST PARKING PROVIDED: (ON-STREET PARALLEL SPACES)	53 SPACES



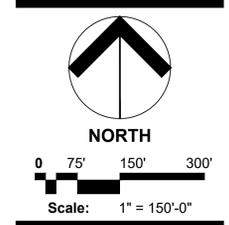
Urban design studio

Urban Planning & Design
Landscape Architecture
Communication Graphics

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Avenir - Pod 10
A Planned Community Development
Palm Beach Gardens, Florida
Overall Site Plan



Date:	October 2021
Project No.:	12-065.049
Designed By:	WJT
Drawn By:	WJT
Checked By:	WJT
Revision Dates:	
04-05-2022	PBG SUBMITTAL #1
07-07-2023	PBG RESUBMITTAL #1
10-10-2023	PBG RESUBMITTAL #2
12-01-2023	PBG RESUBMITTAL #3
12-15-2023	PBG RESUBMITTAL #4
12-20-2023	PBG RESUBMITTAL #5
10-04-2024	AA RESUBMITTAL #1
03-31-2025	AA RESUBMITTAL #2

DEVELOPMENT TEAM

CIVIL ENGINEER: BALLBE & ASSOCIATES
2737 NORTHEAST 30TH PLACE
FORT LAUDERDALE, FL 33306
(954) 491-7811

SURVEYOR: CAULFIELD & WHEELER, INC.
7900 GLADES ROAD
BOCA RATON, FL 33434
(561) 392-1991

SITE PLANNER & LANDSCAPE ARCHITECT: URBAN DESIGN STUDIO
610 CLEMATIS STREET, SUITE CU02
WEST PALM BEACH, FL 33401
(561) 366-1100

TRAFFIC ENGINEER: SUSAN E. O'ROURKE, PE, INC.
428 S.W. AKRON AVENUE, SUITE 1A
STUART, FL 34994
(772) 781-7918

Avenir - Pod 10 A Planned Community Development Palm Beach Gardens, Florida Site Plan



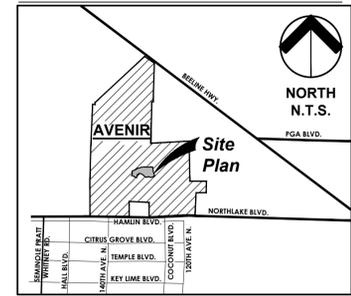
0 30' 60' 120'
Scale: 1" = 60'-0"

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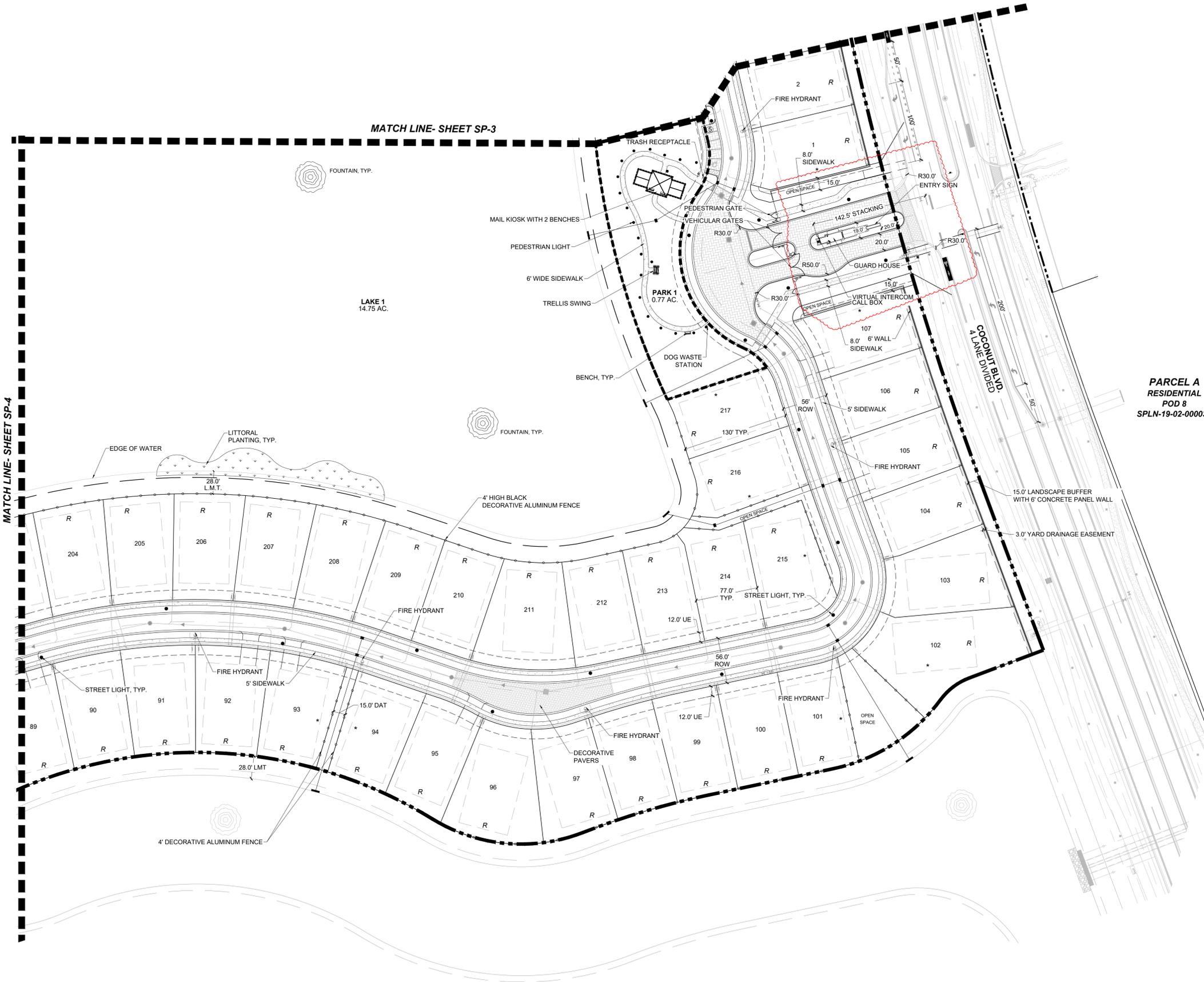
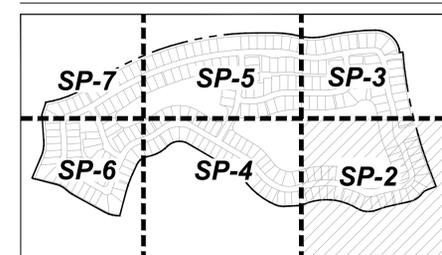
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STUART, FL 34994
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SHEET KEY MAP



**PARCEL A
RESIDENTIAL
POD 8
SPLN-19-02-000034**

**PARCEL A
RESIDENTIAL
POD 15
SPLN-21-06-000055**

MATCH LINE- SHEET SP-3

MATCH LINE- SHEET SP-4

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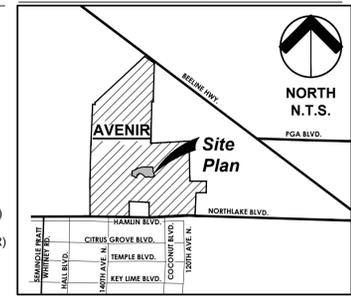
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STREET VIEW OF MODEL CENTER



LOT 121
UNIT E
TROPICAL MODERN
COLOR SCHEME #1

LOT 122
UNIT C
TROPICAL MODERN
COLOR SCHEME #4



LOT 108
UNIT A
TROPICAL MODERN
OPT - 1
COLOR SCHEME #2

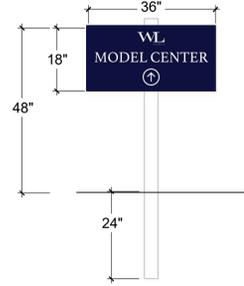
LOT 109
UNIT D
TROPICAL MODERN
OPT - 2
COLOR SCHEME #3

LOT 110
UNIT B
TROPICAL MODERN
COLOR SCHEME #1

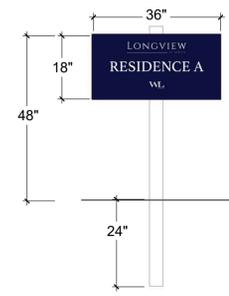
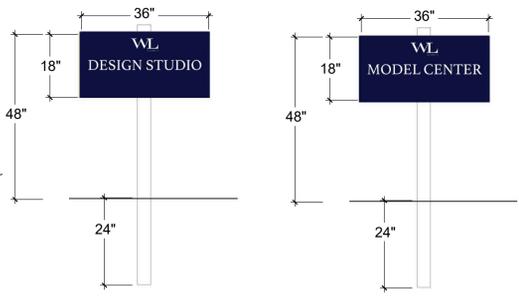
LOT 111
UNIT C
TROPICAL MODERN
OPT - 3
COLOR SCHEME #4

LOT 112
UNIT C
TROPICAL MODERN
OPT - 2
COLOR SCHEME #2

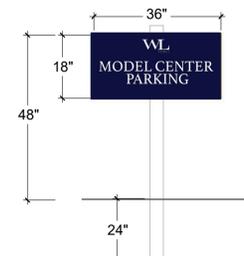
TEMPORARY DIRECTIONAL SIGNAGE



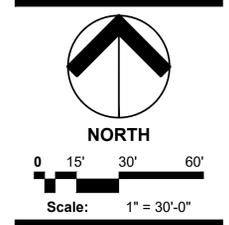
TEMPORARY MODEL ID SIGNAGE



TEMPORARY PARKING SIGNAGE



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A Planned Community Development
Palm Beach Gardens, Florida
Temporary Model Center Site Plan



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12-20-2023	PBG RESUBMITTAL #5
10-04-2024	PBG SPA RESUBMITTAL #1
03-24-2024	PBG SPA RESUBMITTAL #2

Color Renderings:

77' Models:

Architectural Styles: Tropical Modern, Tropical Modern Opt. 1, Tropical Modern Opt. 2, Tropical Modern Opt. 3

Unit A - Tropical Modern - Scheme #1 2

Unit B - Tropical Modern Opt. 2 - Scheme #2 3

Unit C - Tropical Modern Opt. 2 - Scheme #3 4

Unit D - Tropical Modern Opt. 3 - Scheme #4 5

Unit E - Tropical Modern Opt. 2 - Scheme #6 6



AVENIR - POD 10



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Unit A - Tropical Modern - Scheme #1

AVENIR - POD 10



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Unit B - Tropical Modern Opt. 2 - Scheme #2

AVENIR - POD 10



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Unit C - Tropical Modern Opt. 2 - Scheme #3

AVENIR - POD 10



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Unit D - Tropical Modern Opt. 3 - Scheme #4

AVENIR - POD 10



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Unit E - Tropical Modern Opt. 2 - Scheme #6